



(a) Planning and Development Act 2000 (as amended) & Planning and Development Regulations 2001 (as amended) (Part 8)
(b) Local Government Act 2001

In compliance with the provisions of Section 179 of the Planning and Development Act 2000 (as amended) and Part 8 of the Planning and Development Regulations 2001 (as amended) and in compliance with the provisions of the Local Government Act 2001, I hereby notify you that it is proposed to carry out development works at Cork Hill/ Castle Street/ Exchange Court, Dublin 2

Proposed Works

To provide a new pedestrian crossing point on Cork Hill protected by a new double kerbed build out (in Leinster granite) in lieu of the existing bollards which are to be removed. Relay the existing historic setts to Cork Hill.

Provide disability access ramps to the existing entrance to City Hall on Cork Hill and to the existing entrance to the Rates Office on Castle Street.

To provide a total of 6 no. car parking spaces (3no. disabled car parking spaces and 3no. car parking spaces) and 3 no. coach parking spaces on Castle Street.

Attached to this report are a site location map, layout drawings and two computer images of the proposed development.

Zoning

Z5: To consolidate and facilitate the development of the central area, and to identify, reinforce, strengthen and protect its civic design character and dignity

Site Description

The application site is the road and public footpath at Cork Hill/ Castle Street/ Exchange Court, Dublin 2. This area of the City has huge historic value as the setting for some of the best classical architecture in the City and the public spaces and roads provide a backdrop and access to City Hall and Dublin Castle.

Site Planning History

No relevant planning history to date

Area Committee

The South East Area Committee was informed of the initiation of the Part 8 planning process for the proposed development at the above location at its meeting on the 14th November 2016. The South East Area Committee noted a report on the Part 8 planning process for the proposed development at the above location at its meeting on the 12th June 2017.

Submissions/ Observations

None

Interdepartmental Reports

The report of the Drainage Division dated 24th March 2017 has no objection and recommends conditions

The Archaeologists Report dated 27th March 2017 has no objection and recommends conditions

Conservation Officers Report dated 6th April 2017 has no objection and recommends conditions

Planning Assessment

Section 11.1.5.6 Conservation Area – Policy Application and Chp 16 of the Dublin City Development Plan 2016-2022 are relevant sections regarding the proposed development.

Section 11.1.5.6 Conservation Area – Policy Application

New development should have a positive impact on local character. In seeking exemplary design standards, the planning authority will require development in Conservation Areas to take opportunities to enhance the area where they arise. Where a building has been identified as having a negative impact on an area, a pro-active approach to improvement will be sought. Where proposals involve demolition, policy for demolition of protected structures and buildings in conservation areas should be referred to.

CEE12: *(i) To promote and facilitate tourism as one of the key economic pillars of the city's economy and a major generator of employment and to support the provision of necessary significant increase in facilities such as hotels, apart hotels, tourist hostels, cafes, and restaurants, visitor attractions, including those for children*

Section 11.1.5.4 Architectural Conservation Areas and Conservation Areas

The special interest/value of Conservation Areas lies in the historic and architectural interest and the design and scale of these areas. Therefore, all of these areas require special care in terms of development proposals and works by the private and public sector alike, which affect structures both protected and non-protected in these areas. Dublin City Council will thus seek to ensure that development proposals within all Architectural Conservation Areas and Conservation Areas complement the character of the area, including the setting of protected structures, and comply with development standards.

In terms of the proposed overall development. Alterations and improvements are proposed to 1) Cork Hill, 2) Castle Street 3) Dame St & Exchequer Court

1) Cork Hill

The space shall retain much of its historic paving on the pedestrian paths at the foot of the former Newcomen Bank and the City Hall.

The proposal includes:

- Relaying of the street setts with closer joints and in a more bonded arrangement than present to be closer to the historic installation method
- To use a jointing material more similar to historic construction methods
- To install a paved gutter either side of the street that is more typical of historic paving found in the City
- To extend the stone sett area closer to Dame Street
- Replacement of the bollards at Dame St with a kerb composition around which vehicles must pass. It will consist of a kerb to the road and an additional parallel step above to mediate the sloping ground. A line of low stone bollards will extend from the west end of the curve end to restrict access to vehicles to the City Hall side of the street space.
- Moving the pedestrian crossing away from the new kerb arrangement on Dame St a short distance into Cork Hill.
- Provision of Universal Access to City Hall by relocating the steps on Cork Hill to allow for a new landing and a ramp connection to the South or Castle end of the new arrangement. The new landing will be of stone to match the existing steps and plinth.

2) Castle Street

The overall plan for Castle St includes

- Refurbishment and reinstatement of the historic paving. The proposal foresees reinstatement of sett paving along the full length of the street. New stone paving is proposed for the footpaths
- Introduction of traffic control measures. Bollards are proposed along the footpath to the south east end of the street between the 2 Castle entrances to restrict parking. The same is proposed for the footpath opposite with bay setbacks for disabled parking.
- Provision of Universal Access to the Newcomen Bank (Rates Office) via Castle St entrance which will see provision of a landing at the height of the entrance hall with a series of curved steps to the front and Cork Hill side.
- Provision of residential and disabled car parking. 2 disabled car parking spaces to the east end of Castle St and 1 disabled car parking space to the west end of the street.
- Parking and drop-off for tourist coaches. 3 parking spaces for coaches are proposed on the south side of the street beside the castle wall.
- Introduction of trees. Tree planting if proposed to the west end of Castle St on the north side
- Introduction of street lighting.

3) Dame Street & Exchequer Court

- Refurbishment and reinstatement. It is proposed to pave the street in stone similar in format to the path paving.
- Introduction of Traffic Control Measures. The series of bollard stands to the west side of Barnardos Square shall be retained
- Provision of Universal Access to neighbouring buildings. Step free access to the City Hall shall be retained

The proposed refurbishment of the historic paving and enhancement of these public spaces addresses issues such as disrepair of the existing fabric and reinstating the original character of the immediate area. The proposal including renewing areas of existing paving, changing the kerb lines, addressing issues of traffic and parking, providing universal access to buildings, tree planting and new street lighting is likely to significantly improve the public

realm and enhance the setting of Castle St and Exchange Court for the use and appreciation by the public in this architecturally important area.

Having regard to the nature and scale of the proposed, it is considered that the proposed development would not seriously injure the amenity of property in the vicinity and subject to compliance with the conditions set out below it is considered that the proposed development accords with both the City Development Plan and the proper planning and sustainable development of the area.

RECOMMENDATION

I am satisfied that the proposed development would be consistent with the provisions of the Dublin City Development Plan 2011-2017 and would be in accordance with the proper planning and sustainable development of the area. Accordingly it is recommended that a decision be made by the elected members of the Council to proceed with the proposed development, subject to the requirements of the respective Divisions and Sections of the City Council provided below.

1. Drainage Recommendations;

a) There is no objection to this development, subject to the developer complying with the Greater Dublin Regional Code of Practice for Drainage Works Version 6.0 (available from www.dublincity.ie Forms and Downloads). 2. City Archaeologist Recommendations;

2. City Archaeology;

a) No construction or site preparation work may be carried out on the site until all archaeological requirements of the City Archaeologist are complied with.

b) The project shall have an archaeological assessment (and impact assessment) of the proposed development, including all temporary and enabling works, geotechnical investigations, e.g. boreholes, engineering test pits, etc., carried out for this site as soon as possible and before any site clearance/construction work commences. The assessment shall be prepared by a suitably qualified archaeologist and shall address the following issues.

i. The archaeological and historical background of the site, to include industrial heritage.

ii. A paper record (written, drawn, and photographic, as appropriate) of any historic buildings and boundary treatments, etc.

iii. The nature, extent and location of archaeological material on site by way of archaeological testing &/or monitoring of the removal of overburden.

iv. The impact of the proposed development on such archaeological material.

c) The archaeologist shall forward their Method Statement in advance of commencement to the City Archaeologist.

d) Where archaeological material is shown to be present, a detailed Impact Statement shall be prepared by the archaeologist which will include specific information on the location, form, size and level (corrected to Ordnance Datum) of all foundation structures, ground beams,

floor slabs, trenches for services, drains etc. The assessment shall be prepared on the basis of a comprehensive desktop study and, where appropriate/feasible, trial trenches excavated on the site by the archaeologist and/or remote sensing. The trial trenches shall be excavated to the top of the archaeological deposits only. The report containing the assessment shall include adequate ground-plan and cross-sectional drawings of the site, and of the proposed development, with the location and levels (corrected to Ordnance Datum) of all trial trenches and/or bore holes clearly indicated. A comprehensive mitigation strategy shall be prepared by the consultant archaeologist and included in the archaeological assessment report.

e) No subsurface work shall be undertaken in the absence of the archaeologist without his/her express consent. The archaeologist retained by the project to carry out the assessment shall consult with the City Archaeologist in advance regarding the procedure to be adopted in the assessment.

f) A written and digital report (on compact disc) containing the results of the archaeological assessment shall be forwarded on completion to the City Archaeologist. The City Archaeologist (in consultation with The National Monuments Service, Department Arts Heritage and Gaeltacht, shall determine the further archaeological resolution of the site.

g) The developer shall comply in full with any further archaeological requirement, including archaeological monitoring, and if necessary archaeological excavation and/or the preservation in situ of archaeological remains, which may negate the facilitation of all, or part of any basement.

h) The developer shall make provision for archaeological excavation in the project budget and timetable.

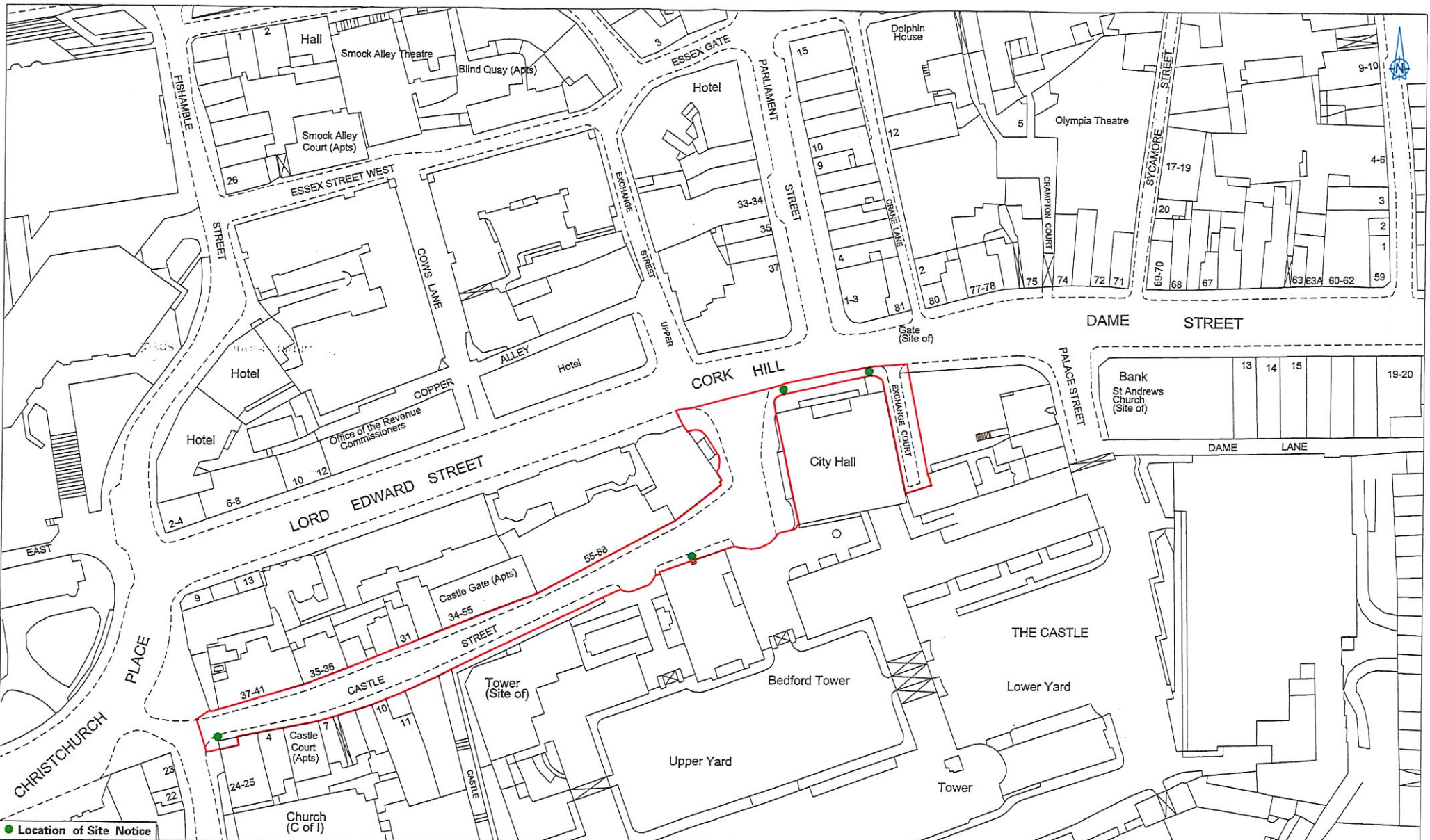
i) Before any site works commence the developer shall agree the foundation layout with the City Archaeologist.

j) Following submission of the final report to the City Archaeologist, where archaeological material is shown to be present the archaeological paper archive shall be compiled in accordance with the procedures detailed in the Dublin City Archaeological Archive Guidelines (2008 Dublin City Council), and lodged with the Dublin City Library and Archive, 138-144 Pearse Street, Dublin 2.

This report is submitted to the City Council pursuant to Section 138 of the Local Government Act, 2001 and Section 179 of the Planning and Development Act, 2000, subject to the provisions of Section 139 of the Local Government Act, 2001.

Owen P. Keegan
Chief Executive

21st June 2017



● Location of Site Notice

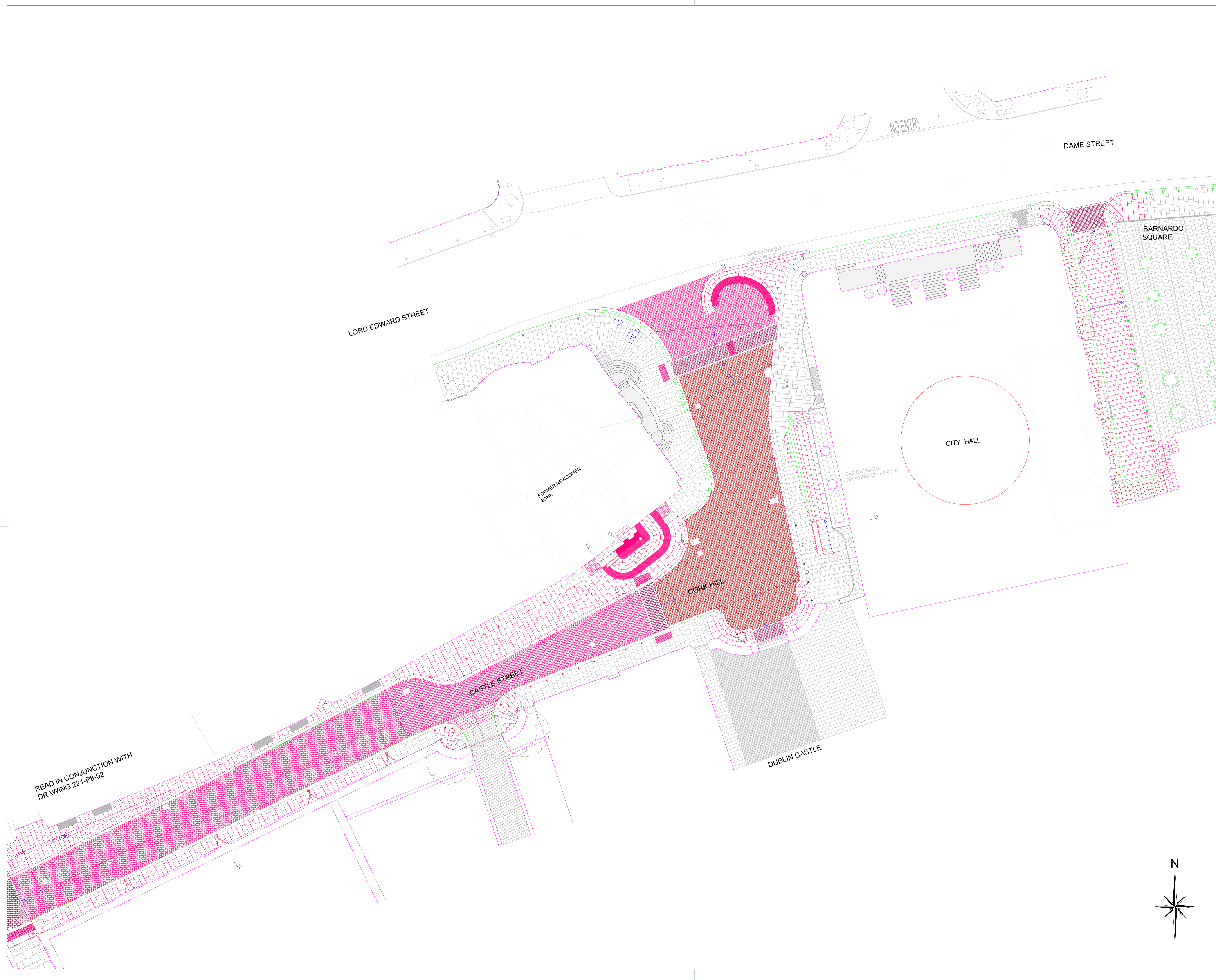
PRECINCT IMPROVEMENT PART 8 – CASTLE STREET AND EXCHANGE COURT
LOCATION MAP

scale: 1:1000 when printed at A3
 date: October 2016
 drawing no.
 Created by: J.M.







DUBLIN CITY COUNCIL
 Comhairle Cathrach Baile Átha Cliath
 City Architects Department, Housing & Residential Services
 Seirbhísí Tithíochta agus Cónaithe
 Block 4, Floor 2, Civic Offices, Wood Quay, Dublin 8
 Oifigína Cathrach, An Ché Adhmaid, Baile Átha Cliath 8

© OSi data included © Ordnance Survey Ireland. All rights reserved. Licence Number 201122/CCMA/Dublin City Council



Note:
 This drawing is copyright of Lotts Architecture and Urbanism Ltd.
 This drawing is to be read in conjunction with specifications and all other consultants drawings.
 All dimensions to be checked on site.
 Architects must be informed of any discrepancies before work proceeds.
 Do not scale off drawings.

-  EXISTING
-  REMOVE
-  RECONFIGURE
-  PROPOSED

revision no.:	date:	description:
A	21/06/2016	Updated following DCC meeting of 20/06/2016
B	14/09/2016	General update
C	29/09/2016	Fanned paving on Castle street and on new paving

READ IN CONJUNCTION WITH
DRAWING 221-P8-02

lotts architecture and urbanism ltd
 RIAI Grade 1 Conservation Practice
 22 South William Street, Dublin 2
 Tel: 01 677 1006
 email: info@lotts.ie
 www.lotts.ie

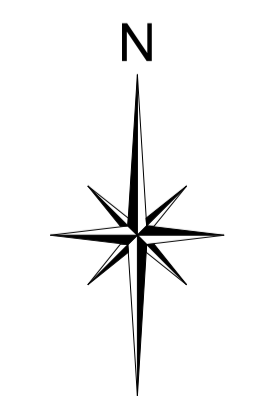
Directors: Desmond Byrne BAIAI, Richard McCoughlin BAIAI

project: CASTLE STREET - EXCHANGE COURT
PUBLIC DOMAIN STUDY

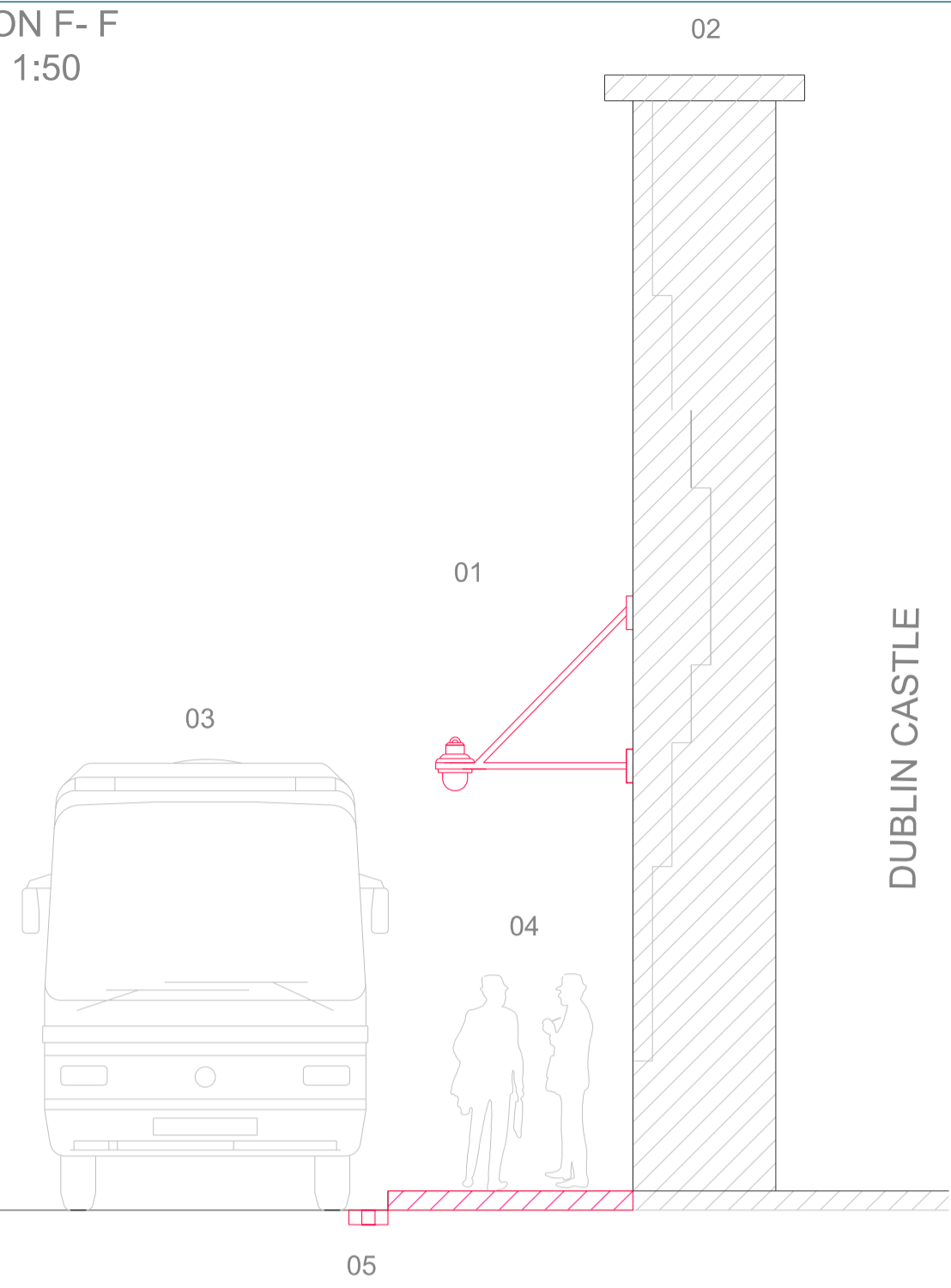
client: DUBLIN CITY COUNCIL

drawing title: CORK HILL & EXCHANGE COURT
EAST PART OF CASTLE STREET

date:	06/06/2016	scale:	1:200	drawing:	221-P8-01	rev:	B
drawn by:	MC	checked by:					
stage:	Design	format:	A1				



SECTION F- F
SCALE 1:50

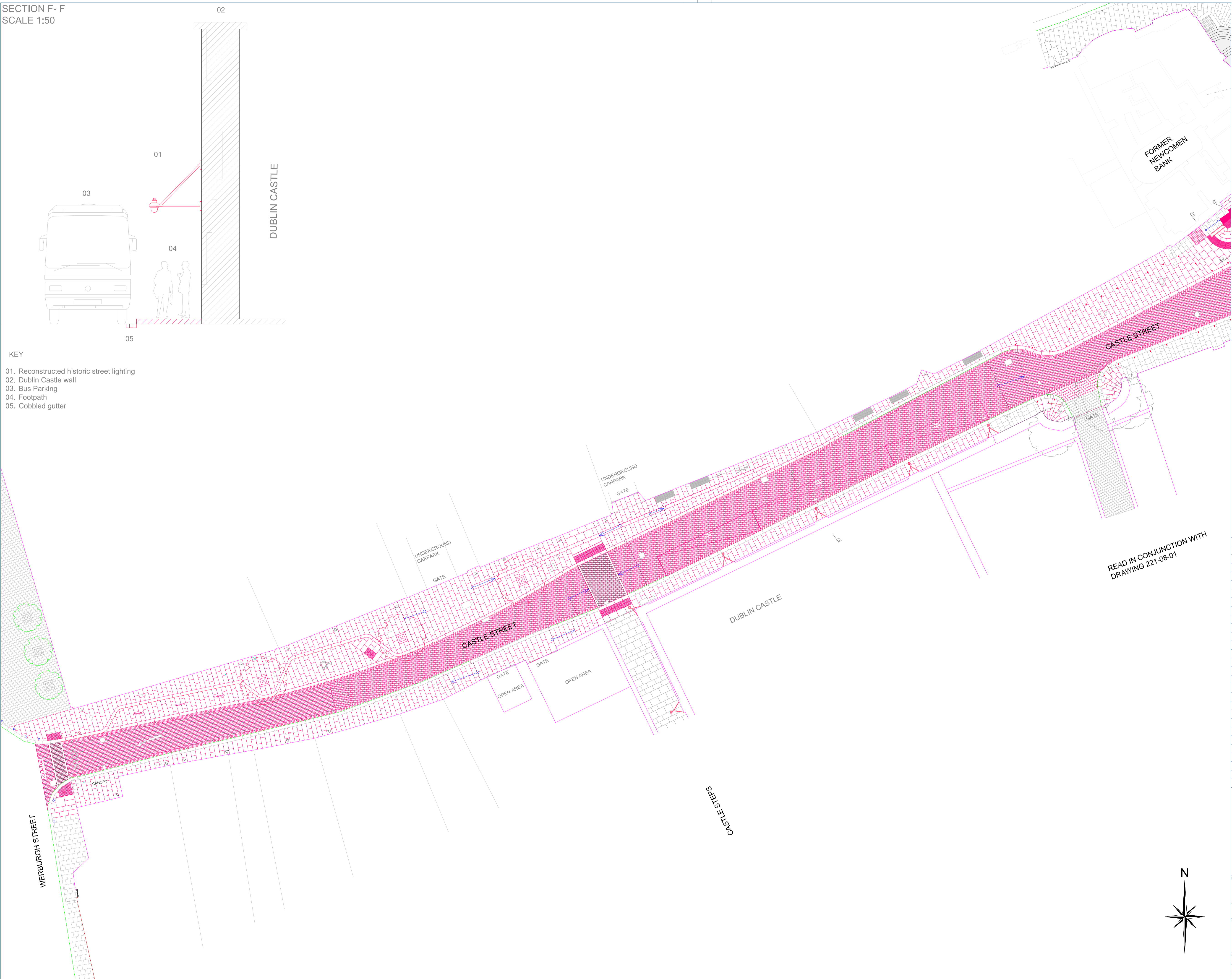


DUBLIN CASTLE

KEY

- 01. Reconstructed historic street lighting
- 02. Dublin Castle wall
- 03. Bus Parking
- 04. Footpath
- 05. Cobbled gutter

Note:
This drawing is copyright of Lotts Architecture and Urbanism Ltd.
This drawing is to be read in conjunction with specifications and all other consultants drawings.
All dimensions to be checked on site.
Architects must be informed of any discrepancies before work proceeds.
Do not scale off drawings.



- EXISTING
- REMOVE
- RECONFIGURE
- PROPOSED

READ IN CONJUNCTION WITH
DRAWING 221-08-01

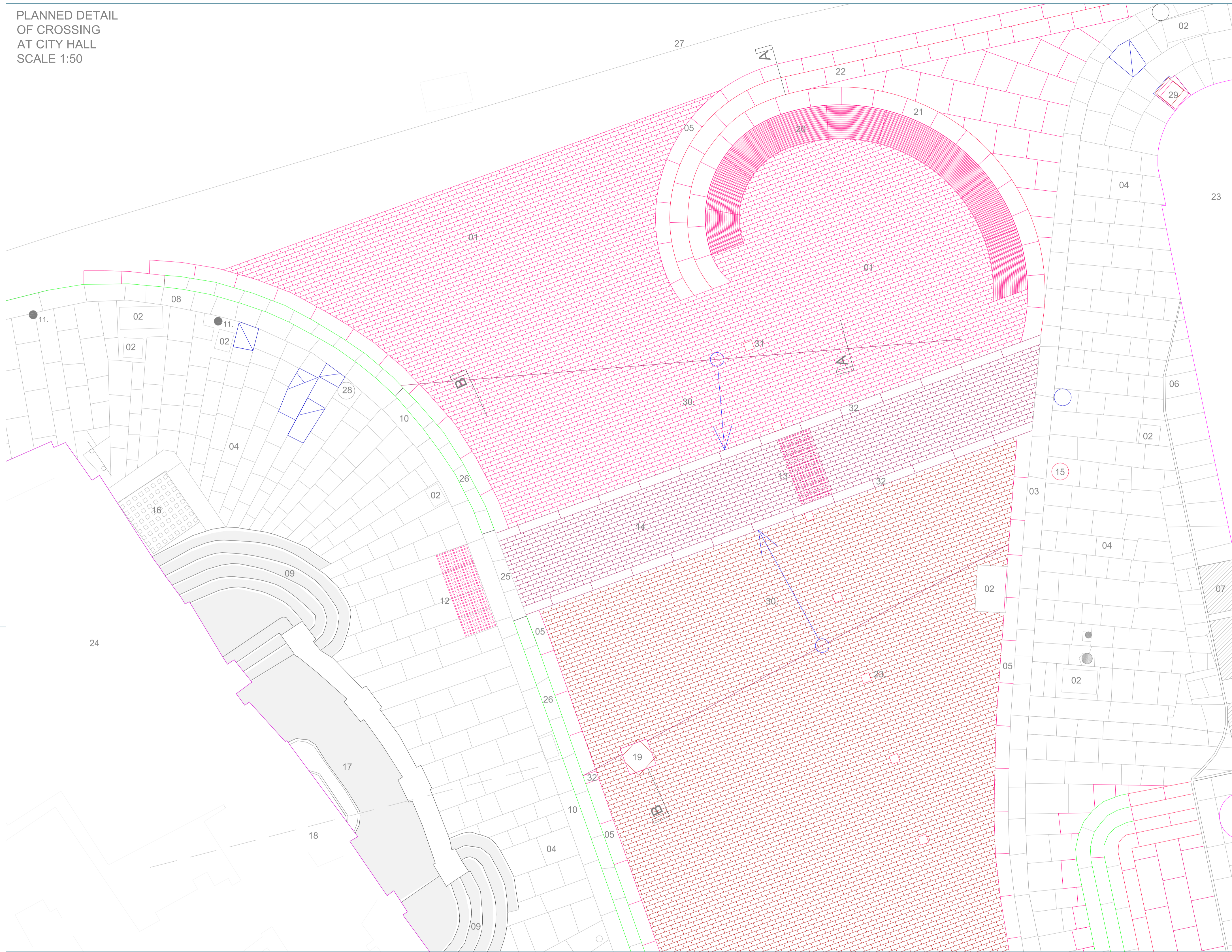
revision no.	date	description
A	2/10/2016	Updated following DCC meeting of 20/06/2016
B	14/09/2016	General update
C	28/09/2016	Fanning of pavement at east end of Castle Street

lotts architecture and urbanism ltd
22 South William Street, Dublin 2
Tel 01 677 10 06
email info@lotts.ie
www.lotts.ie

Director: Desmond Byrne BA(arch) MRBA Richard McCullough BA(arch) MRBA
Project: CASTLE STREET - EXCHANGE COURT PUBLIC DOMAIN STUDY
Client: DUBLIN CITY COUNCIL
Drawing title: WEST PART OF CASTLE STREET

date	scale	drawing	rev
09/09/2016	1:200		
drawn by: MC	checked by:	221- P8-02	C
stage: Design	format: A1		

PLANNED DETAIL
OF CROSSING
AT CITY HALL
SCALE 1:50



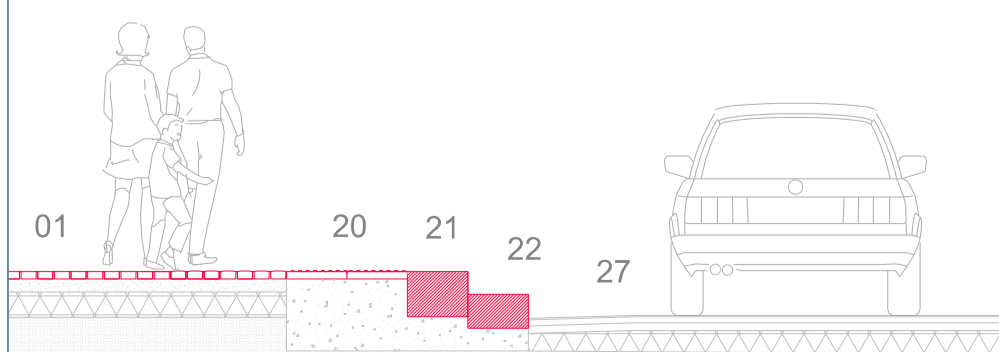
- KEY**
- 01. Historic Setts brought to site
 - 02. Existing inspection covers
 - 03. Historic kerbstone
 - 04. Historic paving
 - 05. New gutter stones to match setts
 - 06. Historic railings
 - 07. Gratings
 - 08. Raise historic kerbstone to previous level and remove graded crossing
 - 09. Existing historic steps leading up to the entrance of Former Newcomen Bank
 - 10. Historic double kerbstone
 - 11. Existing bollards
 - 12. New metal blisters to be embedded into existing historic stone
 - 13. New blistered paving embedded in new stone to match the historic paving
 - 14. Smooth Sett crossing raised to level of West paving
 - 15. New position of historic street lamp to allow for access to crossing
 - 16. Replace recent lightwell cover with type having smaller surround and provide paving around it to match the existing paving
 - 17. Entrance to Former Newcomen Bank
 - 18. Vaulted space below pavement
 - 19. Provide new inspection panel of cast iron in a larger size to align with cobbled paving
 - 20. New hazard strips at the top of the single step
 - 21. New stone step (150mm) to form a double kerb and fan into the ground
 - 22. New Kerbstone (around 150mm) to prevent vehicles from cutting the corner and eliminating the need for
 - 23. Low stone bollards
 - 24. Former Newcomen Bank
 - 25. Historic kerbstone raised up to the level of historic paving
 - 26. Historic kerbstone sloped up to the level of the paving
 - 27. Existing black top road/ Cycle lane
 - 28. Rubbish bin
 - 29. Existing inspection chamber moved to reduce the impact to the historic paving fan
 - 30. Setts gently slope up to allow for the crossing point to be flush with the historic paving on both sides of Cork Hill
 - 31. Low Stone bollards circa 200mm in height
 - 32. Flat paving boarder stones to match gutter & setts

Note:
This drawing is copyright of Lotts Architecture and Urbanism Ltd.
This drawing is to be read in conjunction with specifications and all other consultants drawings.
All dimensions to be checked on site.
Architects must be informed of any discrepancies before work proceeds.
Do not scale off drawings.

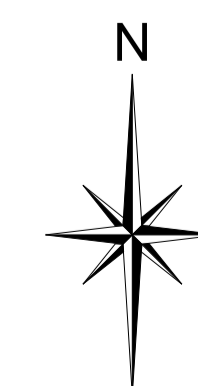
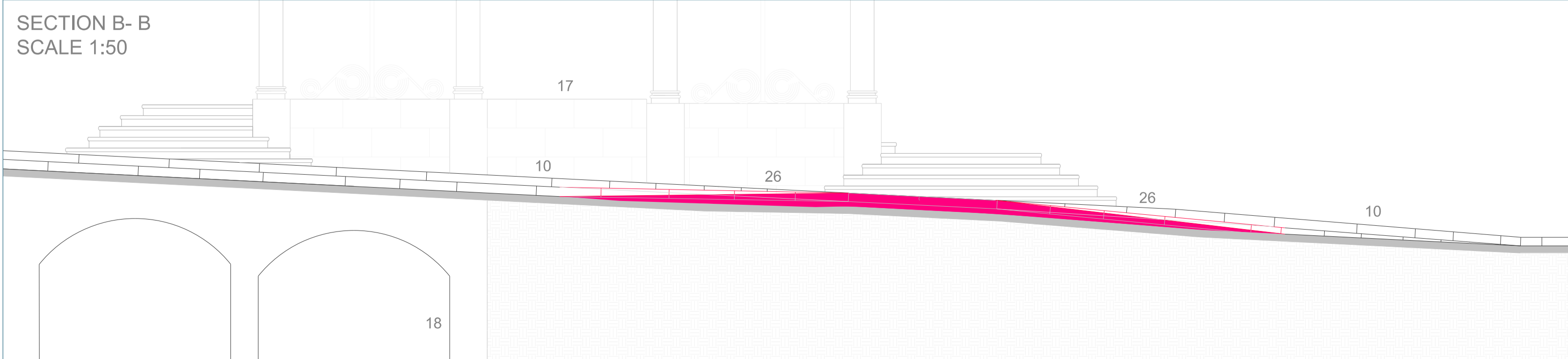
- EXISTING
- REMOVE
- RECONFIGURE
- PROPOSED

revision no.:	date:	description:
A	21/06/2016	Updated following DCC meeting of 20/06/2016
B	29/09/2016	Fanning of new pavement

SECTION A- A
SCALE 1:50



SECTION B- B
SCALE 1:50

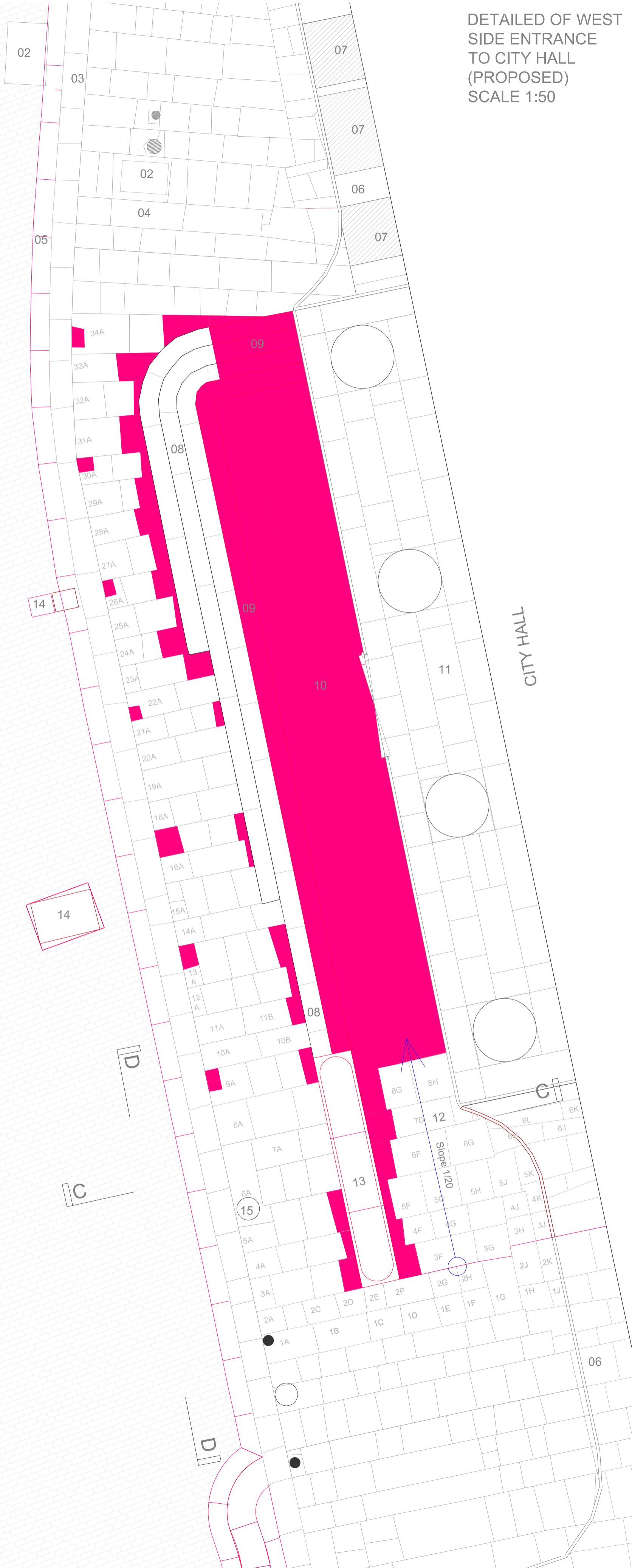
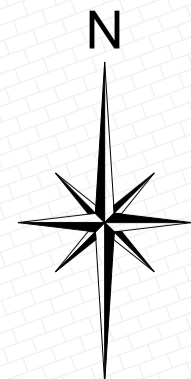


lotts architecture and urbanism ltd
RIBA Grade 1 Conservation Practice
22 South William Street, Dublin 2
Tel 01 677 10 06
email info@lotts.ie
www.lotts.ie

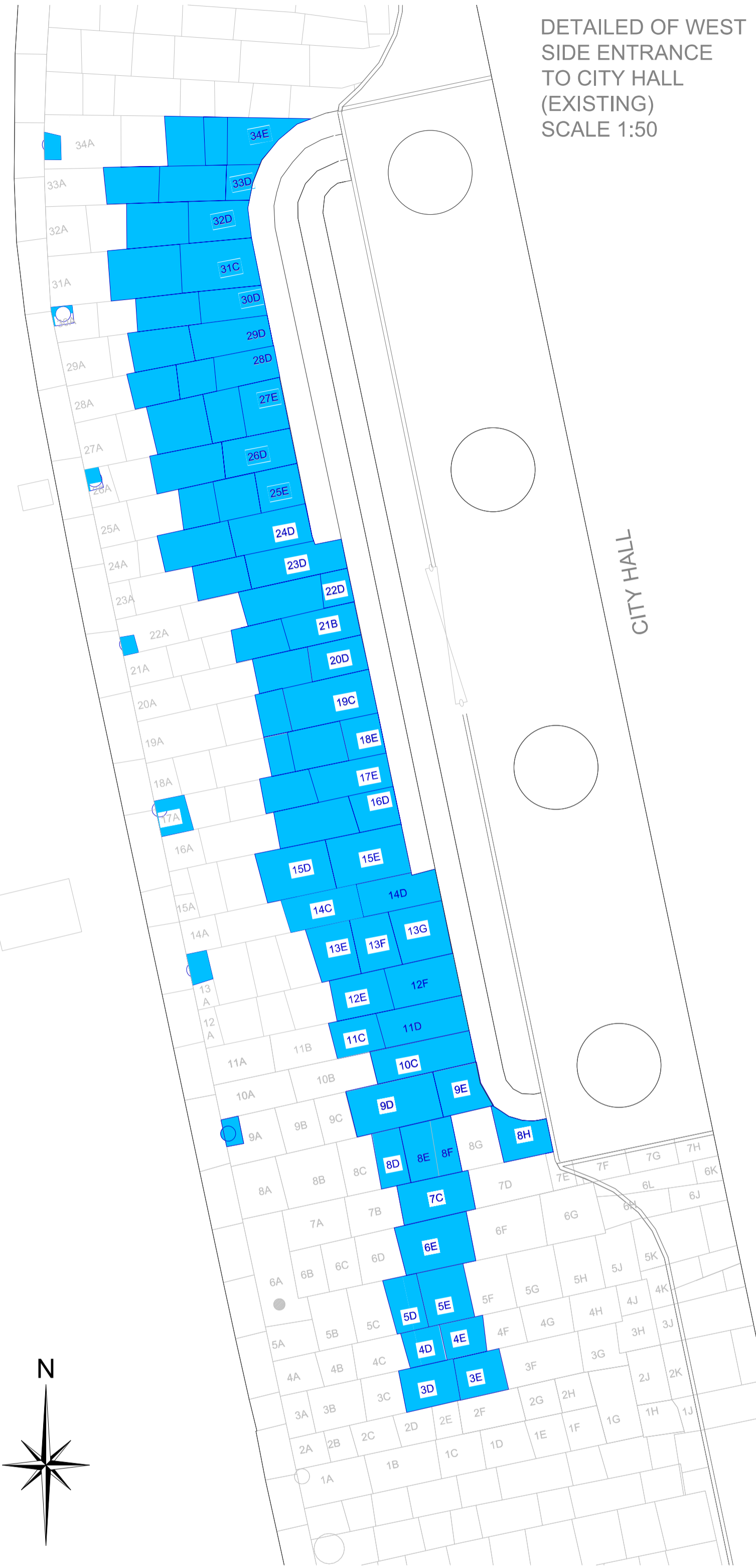
Directors: Desmond Byrne BACh MRAI Richard McLoughlin BACh MSc MRAI

project:	CASTLE STREET - EXCHANGE COURT PUBLIC DOMAIN STUDY		
client:	DUBLIN CITY COUNCIL		
drawing title:	CORK HILL DETAIL AREA OF NORTH END		
date:	09/06/2016	scale:	1:50
drawn by:	MC	checked by:	221- P8-03 B
stage:	Design	format:	A1

01



DETAILED OF WEST SIDE ENTRANCE TO CITY HALL (PROPOSED) SCALE 1:50

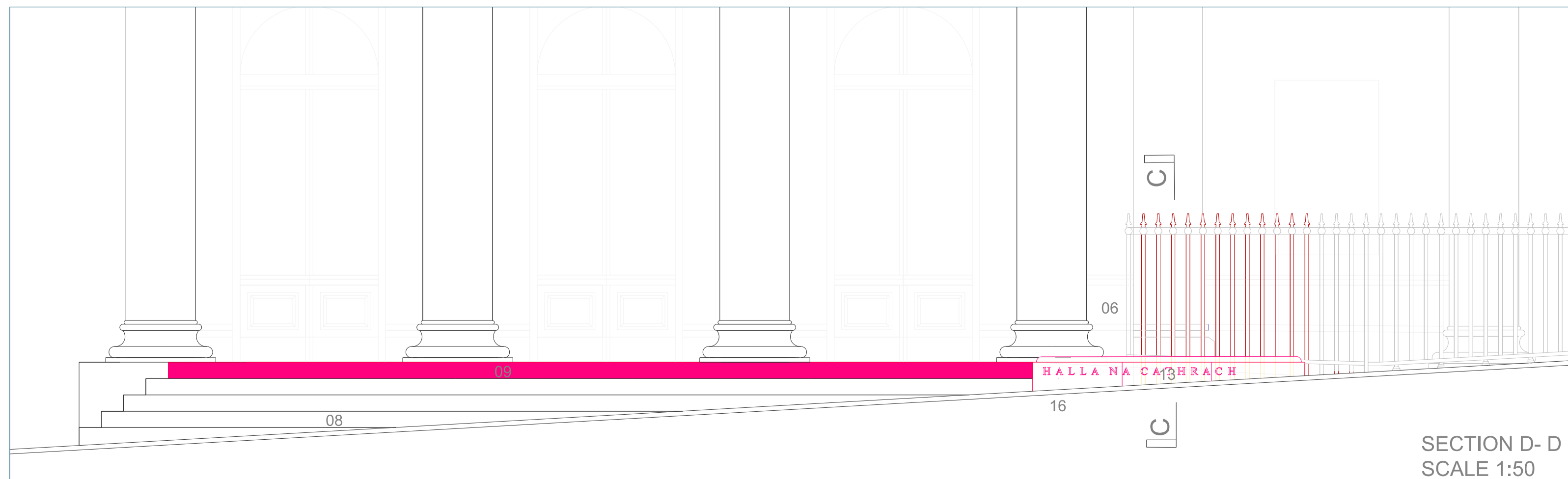
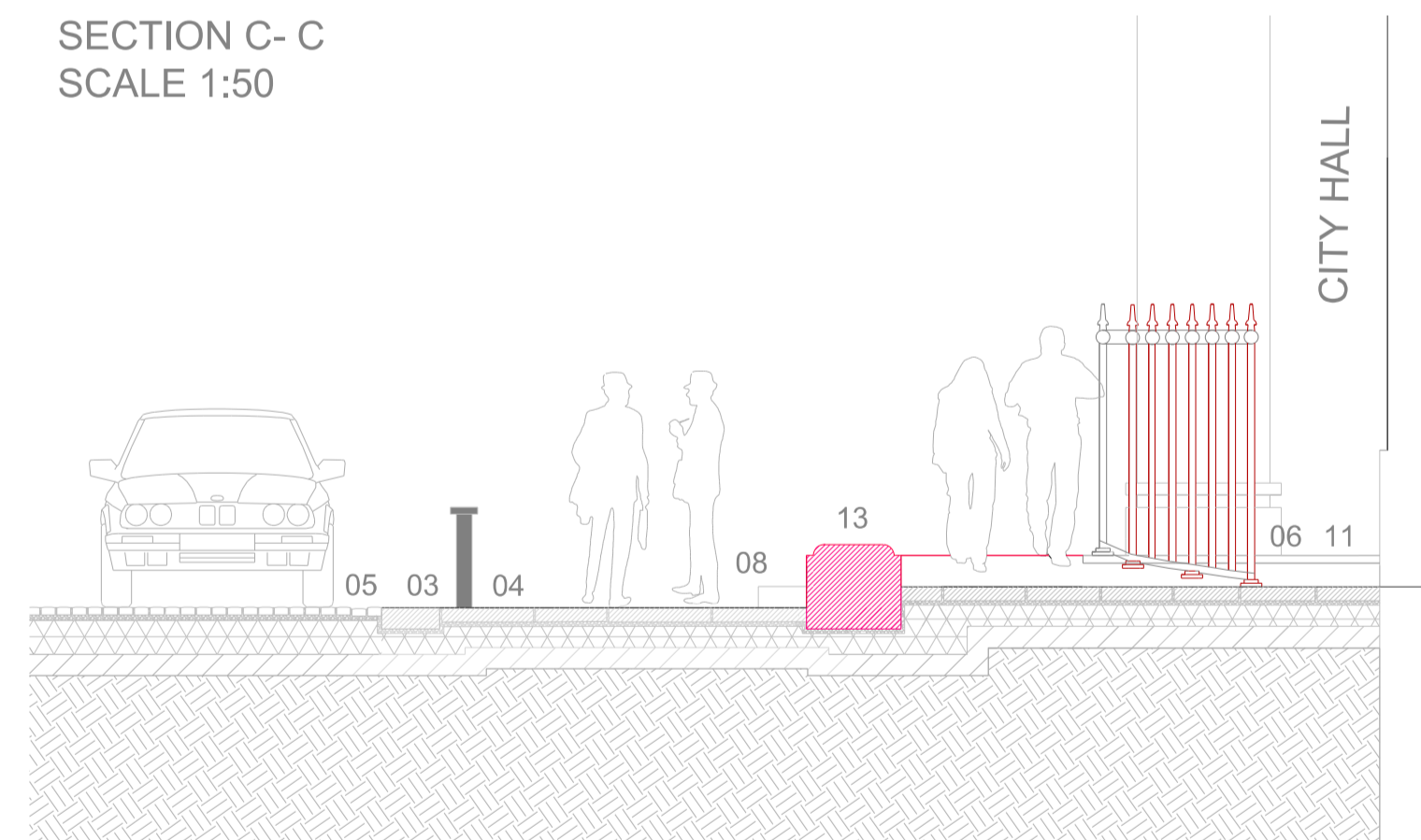


DETAILED OF WEST SIDE ENTRANCE TO CITY HALL (EXISTING) SCALE 1:50

KEY

- 01. Historic stone cobbled paving raised to the level of the historic kerbstone.
- 02. Existing cast iron inspection chamber
- 03. Historic kerbstone
- 04. Historic paving
- 05. Cobbled gutter
- 06. Existing historic railings to be adjusted at ramp
- 07. Grating
- 08. Move existing stone steps to new position
- 09. New stone step to added to existing steps
- 10. New stone paving to match the level of historic plinth
- 11. Historic plinth at the entrance of City Hall
- 12. Move existing paving in this area to new gradient (slope 1/20) to allow ramped access to City Hall
- 13. Raised stone siding with curved profile
- 14. Provide new inspection panel of cast iron in a larger size to align with cobbled paving
- 15. Historic street lamp
- 16. City Hall engraving

SECTION C-C SCALE 1:50



SECTION D-D SCALE 1:50

Note:

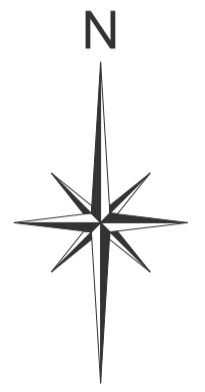
This drawing is copyright of Lotts Architecture and Urbanism Ltd.

This drawing is to be read in conjunction with specifications and all other consultants drawings.

All dimensions to be checked on site.

Architects must be informed of any discrepancies before work proceeds.

Do not scale off drawings.



- EXISTING
- REMOVE
- RECONFIGURE
- PROPOSED

revision no.	date	description
A	21/06/2016	Updated following DCC meeting of 20/06/2016
B	14/09/2016	Adjusted ramp kerb
C	29/09/2016	Adjusted ramp kerb & City Hall engraving

lotts architecture and urbanism ltd
RIAI Grade 1 Conservation Practice
 22 South William Street, Dublin 2
 Tel 01 677 10 06 email info@lottsj.ie
 www.lottsj.ie

Directors: Desmond Byrne BAHC MRIAI Richard McLaughlin BAHC MSc MRIAI
 project: CASTLE STREET - EXCHANGE COURT PUBLIC DOMAIN STUDY
 client: DUBLIN CITY COUNCIL
 drawing title: WEST SIDE ENTRANCE TO CITY HALL

date	scale	drawing	rev
08/06/2016	1:50	221-P8-04	C
drawn by: MC	checked by:	format: A1	
stage: Design			



